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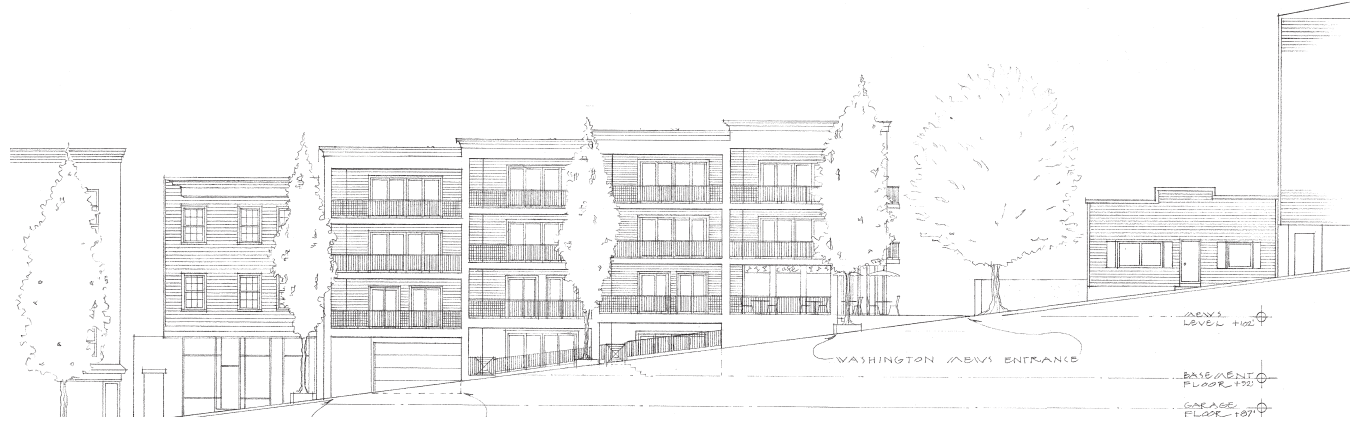


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## LIST OF DRAWINGS:

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- |                 |  |                  |   |
|-----------------|--|------------------|---|
| <b>S</b> .....  | Survey (1"=15')  | <b>14</b> .....  | Sections Showing Building Height Limits (1"=10')<br>(Section 295-5 "Height, Building" B (1)& Section<br>295-72-2 (E)3(a)&(b)) |
| <b>1</b> .....  | Parking Floor Plan (1/16"=1'-0")   | <b>VP1</b> ..... | View Preservation, 1 of 2   |
| <b>2</b> .....  | Mews Level Plan (1/16"=1'-0")  | <b>VP2</b> ..... | View Preservation, 2 of 2   |
| <b>3</b> .....  | Second Floor Plan (1/16"=1'-0")  |                  |   |
| <b>4</b> .....  | Third Floor Plan (1/16"=1'-0")   |                  |   |
| <b>5</b> .....  | Roof Plan (1/16" =1'-0")   |                  |   |
| <b>6</b> .....  | Washington Avenue South Elevation<br>& West Elevation of West Building (1/8"=1'-0")  |                  |   |
| <b>7</b> .....  | North Elevation from Parking Lot,<br>West Elevation of East Houses seen from the Mews<br>& South Elevation of East Houses Including<br>Elevator/Garbage/Mail Building (1/8"=1'-0") |                  |   |
| <b>8</b> .....  | Longitudinal & Transverse Sections (1/8"= 1'-0")   |                  |   |
| <b>9</b> .....  | Site Analyses  |                  |   |
| <b>10</b> ..... | Zoning Analysis  |                  |   |
| <b>11</b> ..... | Landscape Design Proposal  |                  |   |
| <b>12</b> ..... | Diagram of Plan Sections per 295-5-B(2),<br>Diagram of Front & Rear Property Extensions &<br>Table of Building Heights & Limits  |                  |   |
| <b>13</b> ..... | Plan Showing Building Height Limits (1"=10')<br>(Section 295-5 "Height, Building" B (2))   |                  |   |



**OWNERS**  
RTB WASHINGTON LLC  
Alex CHENG  
12 Hidden Glen Road  
Scarsdale, N.Y. 10583  
alexanderlcheng@gmail.com

**ARCHITECTS**  
BALDWIN & FRANKLIN ARCHITECTS  
73 Washington Avenue  
Hastings-on-Hudson, NY 10706  
Tel:914 693 5324/Fax:914 6935676  
nedbaldwin@optonline.net

**CONSULTANTS**  
- Tomasz LOPINSKI, CAD & 3D Modeling  
- NCK Engineering, Structural  
- Larry J. NARDECCHIA Jr., P.E., Civil Engineering

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# WASHINGTON MEWS

## A MID-BLOCK INFILL MEWS HOUSING DEVELOPMENT

### SECTION 4.70 - BLOCK 48 - LOTS 37 & 38

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ISSUE DATE: 6 AUGUST 2015

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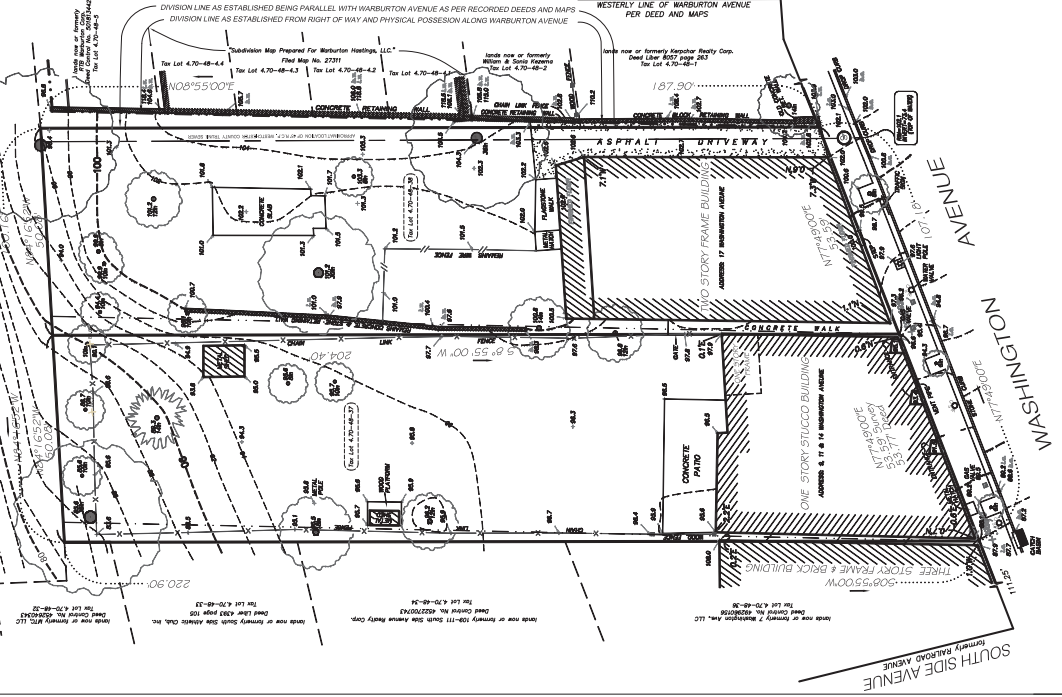
3344



TOPOGRAPHIC SURVEY OF PROPERTY SITUATE IN THE TOWN OF GREENBURGH VILLAGE OF HASTINGS-ON-HUDSON WESTCHESTER COUNTY NEW YORK



- THE PREMISES SHOWN HEREON BEING KNOWN AND IDENTIFIED BY THE TAX MAPS OF THE TOWN OF GREENBURGH, WESTCHESTER COUNTY, NEW YORK, AS RECORDED IN THE OFFICE OF THE COUNTY CLERK'S OFFICE IN WESTCHESTER COUNTY, NEW YORK.
- THE PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH VILLAGE OF HASTINGS-ON-HUDSON SECTION: 4.70 BLOCK: 48 LOT: 37 PROPERTY AREA: 10.633 Sq Ft / 0.2441 Acres SECTION: 4.70 BLOCK: 48 LOT: 38 PROPERTY AREA: 9.807 Sq Ft / 0.2251 Acres TOTAL PROPERTY AREA: 20.440 Sq Ft / 0.4692 Acres
- SURVEYS SUBJECT TO ANY STATE OF FACTS WHICH AN UPDATE SURVEY BASED ON AN ARBITRARY DATUM, FINISHED FLOOR ELEVATIONS AND ANY OTHER DATA, SURVEY INSTRUMENTS, LINES FOR THE USE OF SAID SURVEYORS, SURVEYORS OR ANY OTHER IMPROVEMENTS.
- EROSION CONTROL, BENCH MARKS, AND/OR SURFACE FEATURES, IF UNAUTHORIZED ALTERATION OF ADDITION TO A SURVEY MAP BEARING AN AUTHORIZED AND SURVEYORS SEAL IS A VIOLATION OF SECTION 20A, 20B, 20C, 20D, 20E, 20F, 20G, 20H, 20I, 20J, 20K, 20L, 20M, 20N, 20O, 20P, 20Q, 20R, 20S, 20T, 20U, 20V, 20W, 20X, 20Y, 20Z, 20AA, 20AB, 20AC, 20AD, 20AE, 20AF, 20AG, 20AH, 20AI, 20AJ, 20AK, 20AL, 20AM, 20AN, 20AO, 20AP, 20AQ, 20AR, 20AS, 20AT, 20AU, 20AV, 20AW, 20AX, 20AY, 20AZ, 20BA, 20BB, 20BC, 20BD, 20BE, 20BF, 20BG, 20BH, 20BI, 20BJ, 20BK, 20BL, 20BM, 20BN, 20BO, 20BP, 20BQ, 20BR, 20BS, 20BT, 20BU, 20BV, 20BW, 20BX, 20BY, 20BZ, 20CA, 20CB, 20CC, 20CD, 20CE, 20CF, 20CG, 20CH, 20CI, 20CJ, 20CK, 20CL, 20CM, 20CN, 20CO, 20CP, 20CQ, 20CR, 20CS, 20CT, 20CU, 20CV, 20CW, 20CX, 20CY, 20CZ, 20DA, 20DB, 20DC, 20DD, 20DE, 20DF, 20DG, 20DH, 20DI, 20DJ, 20DK, 20DL, 20DM, 20DN, 20DO, 20DP, 20DQ, 20DR, 20DS, 20DT, 20DU, 20DV, 20DW, 20DX, 20DY, 20DZ, 20EA, 20EB, 20EC, 20ED, 20EE, 20EF, 20EG, 20EH, 20EI, 20EJ, 20EK, 20EL, 20EM, 20EN, 20EO, 20EP, 20EQ, 20ER, 20ES, 20ET, 20EU, 20EV, 20EW, 20EX, 20EY, 20EZ, 20FA, 20FB, 20FC, 20FD, 20FE, 20FF, 20FG, 20FH, 20FI, 20FJ, 20FK, 20FL, 20FM, 20FN, 20FO, 20FP, 20FQ, 20FR, 20FS, 20FT, 20FU, 20FV, 20FW, 20FX, 20FY, 20FZ, 20GA, 20GB, 20GC, 20GD, 20GE, 20GF, 20GG, 20GH, 20GI, 20GJ, 20GK, 20GL, 20GM, 20GN, 20GO, 20GP, 20GQ, 20GR, 20GS, 20GT, 20GU, 20GV, 20GW, 20GX, 20GY, 20GZ, 20HA, 20HB, 20HC, 20HD, 20HE, 20HF, 20HG, 20HH, 20HI, 20HJ, 20HK, 20HL, 20HM, 20HN, 20HO, 20HP, 20HQ, 20HR, 20HS, 20HT, 20HU, 20HV, 20HW, 20HX, 20HY, 20HZ, 20IA, 20IB, 20IC, 20ID, 20IE, 20IF, 20IG, 20IH, 20II, 20IJ, 20IK, 20IL, 20IM, 20IN, 20IO, 20IP, 20IQ, 20IR, 20IS, 20IT, 20IU, 20IV, 20IW, 20IX, 20IY, 20IZ, 20JA, 20JB, 20JC, 20JD, 20JE, 20JF, 20JG, 20JH, 20JI, 20JJ, 20JK, 20JL, 20JM, 20JN, 20JO, 20JP, 20JQ, 20JR, 20JS, 20JT, 20JU, 20JV, 20JW, 20JX, 20JY, 20JZ, 20KA, 20KB, 20KC, 20KD, 20KE, 20KF, 20KG, 20KH, 20KI, 20KJ, 20KK, 20KL, 20KM, 20KN, 20KO, 20KP, 20KQ, 20KR, 20KS, 20KT, 20KU, 20KV, 20KW, 20KX, 20KY, 20KZ, 20LA, 20LB, 20LC, 20LD, 20LE, 20LF, 20LG, 20LH, 20LI, 20LJ, 20LK, 20LL, 20LM, 20LN, 20LO, 20LP, 20LQ, 20LR, 20LS, 20LT, 20LU, 20LV, 20LW, 20LX, 20LY, 20LZ, 20MA, 20MB, 20MC, 20MD, 20ME, 20MF, 20MG, 20MH, 20MI, 20MJ, 20MK, 20ML, 20MN, 20MO, 20MP, 20MQ, 20MR, 20MS, 20MT, 20MU, 20MV, 20MW, 20MX, 20MY, 20MZ, 20NA, 20NB, 20NC, 20ND, 20NE, 20NF, 20NG, 20NH, 20NI, 20NJ, 20NK, 20NL, 20NM, 20NO, 20NP, 20NQ, 20NR, 20NS, 20NT, 20NU, 20NV, 20NW, 20NX, 20NY, 20NZ, 20OA, 20OB, 20OC, 20OD, 20OE, 20OF, 20OG, 20OH, 20OI, 20OJ, 20OK, 20OL, 20OM, 20ON, 20OO, 20OP, 20OQ, 20OR, 20OS, 20OT, 20OU, 20OV, 20OW, 20OX, 20OY, 20OZ, 20PA, 20PB, 20PC, 20PD, 20PE, 20PF, 20PG, 20PH, 20PI, 20PJ, 20PK, 20PL, 20PM, 20PN, 20PO, 20PP, 20PQ, 20PR, 20PS, 20PT, 20PU, 20PV, 20PW, 20PX, 20PY, 20PZ, 20QA, 20QB, 20QC, 20QD, 20QE, 20QF, 20QG, 20QH, 20QI, 20QJ, 20QK, 20QL, 20QM, 20QN, 20QO, 20QP, 20QQ, 20QR, 20QS, 20QT, 20QU, 20QV, 20QW, 20QX, 20QY, 20QZ, 20RA, 20RB, 20RC, 20RD, 20RE, 20RF, 20RG, 20RH, 20RI, 20RJ, 20RK, 20RL, 20RM, 20RN, 20RO, 20RP, 20RQ, 20RR, 20RS, 20RT, 20RU, 20RV, 20RW, 20RX, 20RY, 20RZ, 20SA, 20SB, 20SC, 20SD, 20SE, 20SF, 20SG, 20SH, 20SI, 20SJ, 20SK, 20SL, 20SM, 20SN, 20SO, 20SP, 20SQ, 20SR, 20SS, 20ST, 20SU, 20SV, 20SW, 20SX, 20SY, 20SZ, 20TA, 20TB, 20TC, 20TD, 20TE, 20TF, 20TG, 20TH, 20TI, 20TJ, 20TK, 20TL, 20TM, 20TN, 20TO, 20TP, 20TQ, 20TR, 20TS, 20TT, 20TU, 20TV, 20TW, 20TX, 20TY, 20TZ, 20UA, 20UB, 20UC, 20UD, 20UE, 20UF, 20UG, 20UH, 20UI, 20UJ, 20UK, 20UL, 20UM, 20UN, 20UO, 20UP, 20UQ, 20UR, 20US, 20UT, 20UU, 20UV, 20UW, 20UX, 20UY, 20UZ, 20VA, 20VB, 20VC, 20VD, 20VE, 20VF, 20VG, 20VH, 20VI, 20VJ, 20VK, 20VL, 20VM, 20VN, 20VO, 20VP, 20VQ, 20VR, 20VS, 20VT, 20VU, 20VV, 20VW, 20VX, 20VY, 20VZ, 20WA, 20WB, 20WC, 20WD, 20WE, 20WF, 20WG, 20WH, 20WI, 20WJ, 20WK, 20WL, 20WM, 20WN, 20WO, 20WP, 20WQ, 20WR, 20WS, 20WT, 20WU, 20WV, 20WW, 20WX, 20WY, 20WZ, 20XA, 20XB, 20XC, 20XD, 20XE, 20XF, 20XG, 20XH, 20XI, 20XJ, 20XK, 20XL, 20XM, 20XN, 20XO, 20XP, 20XQ, 20XR, 20XS, 20XT, 20XU, 20XV, 20XW, 20XX, 20XY, 20XZ, 20YA, 20YB, 20YC, 20YD, 20YE, 20YF, 20YG, 20YH, 20YI, 20YJ, 20YK, 20YL, 20YM, 20YN, 20YO, 20YP, 20YQ, 20YR, 20YS, 20YT, 20YU, 20YV, 20YW, 20YX, 20YY, 20YZ, 20ZA, 20ZB, 20ZC, 20ZD, 20ZE, 20ZF, 20ZG, 20ZH, 20ZI, 20ZJ, 20ZK, 20ZL, 20ZM, 20ZN, 20ZO, 20ZP, 20ZQ, 20ZR, 20ZS, 20ZT, 20ZU, 20ZV, 20ZW, 20ZX, 20ZY, 20ZZ



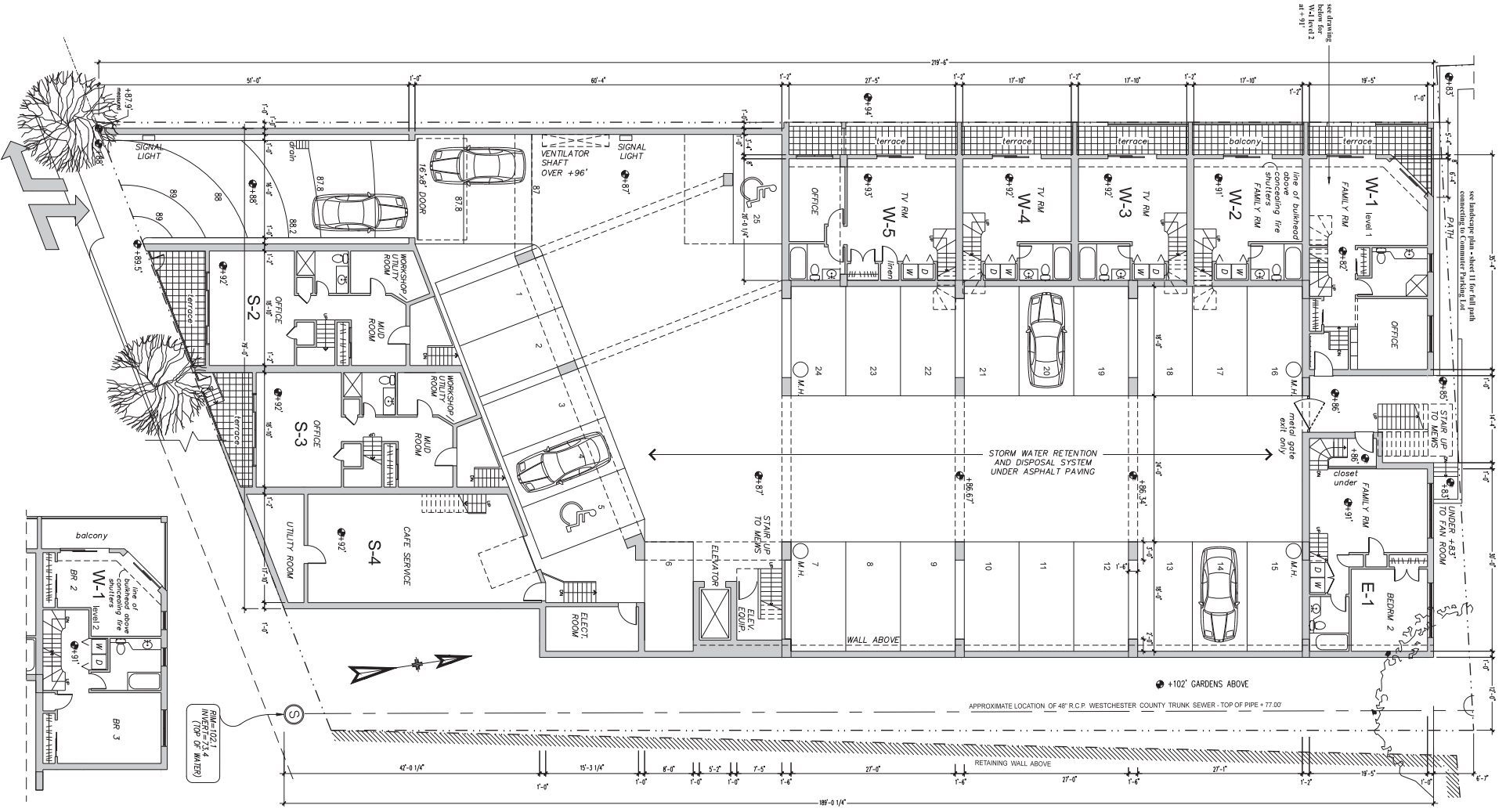
CERTIFIED TO:  
RTB WASHINGTON LLC  
ALL NEW YORK TITLE AGENCY INC.  
STEWART TITLE INSURANCE COMPANY

WARBURTON AVENUE  
WESTERLY LINE OF WARBURTON AVENUE  
AS PER PHYSICAL POSSESSION  
WESTERLY LINE OF WARBURTON AVENUE  
PER DEED AND MAPS

**Link**  
**Land Surveyors P.C.**  
27 Clark Place, Suite 140  
Phineas 14463624807  
Mapleton, N.Y. 10541 Fax 144642140113

NO.	DATE	DESCRIPTION	BY
2	7-29-14	Revised Distance	JRL
1	7-2-14	Additional Easements	JRL

JOSEPH R. LINK  
14463624807  
www.linklandsurveyors.com  
LAND SURVEYORS P.C.



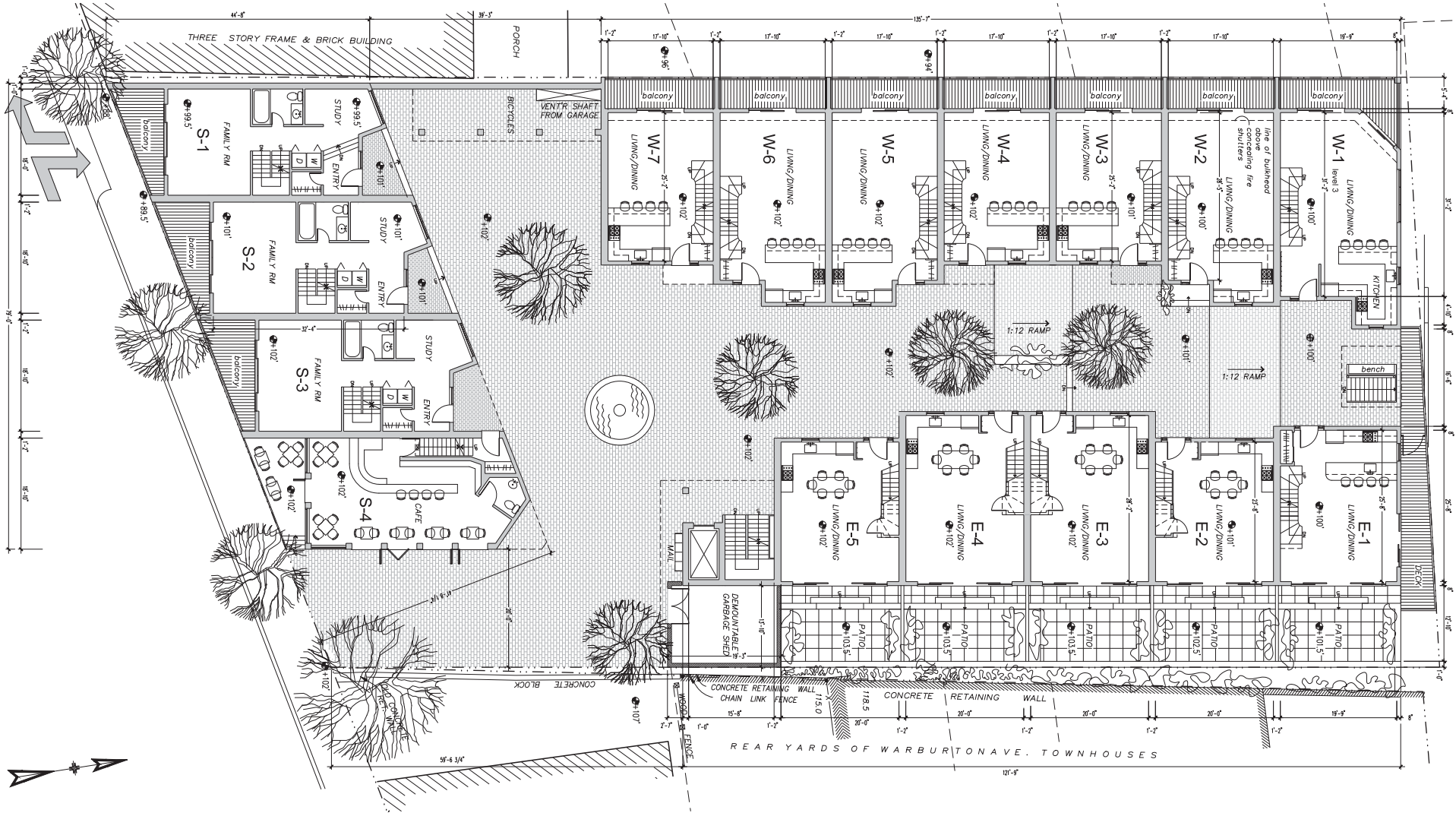
Baldwin & Franklin Architects  
 773 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 TEL: (914) 693-5234 FAX: (914) 693-5676

Project: **WASHINGTON MEWS**  
**RTB WASHINGTON LLC**

Sheet Title: **Parking**  
**Floor Plan**

Project No.: 1001  
 Date: 10/06/2015  
 Scale: 1/8" = 1'-0"  
 Drawn: CA

Sheet No.: **1**



Radwin & Franklin Architects  
 773 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 Tel.: (914) 693 5234 Fax: (914) 693 5676

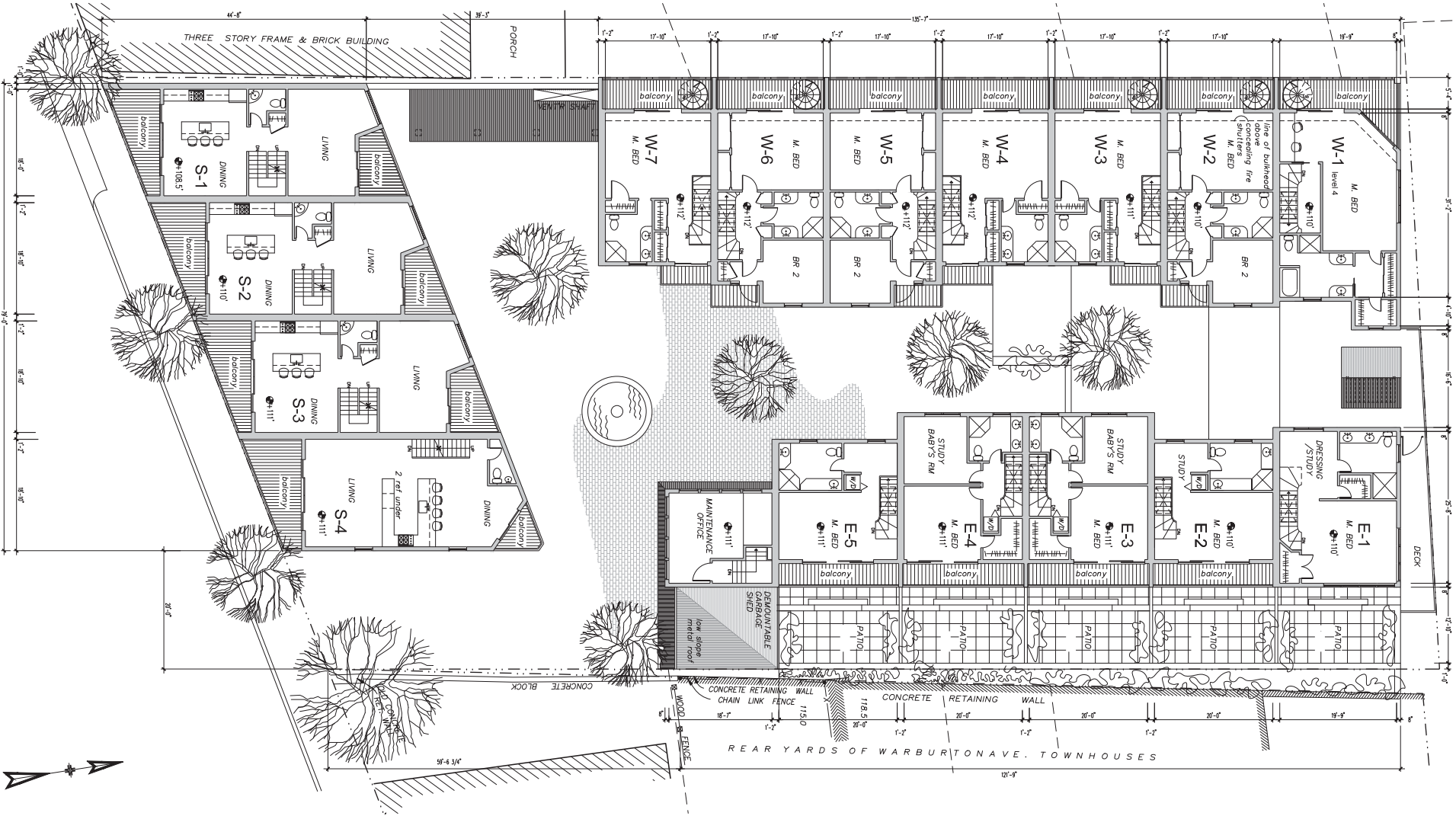
Project:  
**WASHINGTON MEWS**  
**RTB WASHINGTON LLC**

Sheet Title:  
**Mews Level Plan**  
**(First Floor)**

Project No.: 1105  
 Date: 10/06/2015  
 Scale: 1/8" = 1'-0"  
 Drawn: CA

Sheet No.:  
**2**



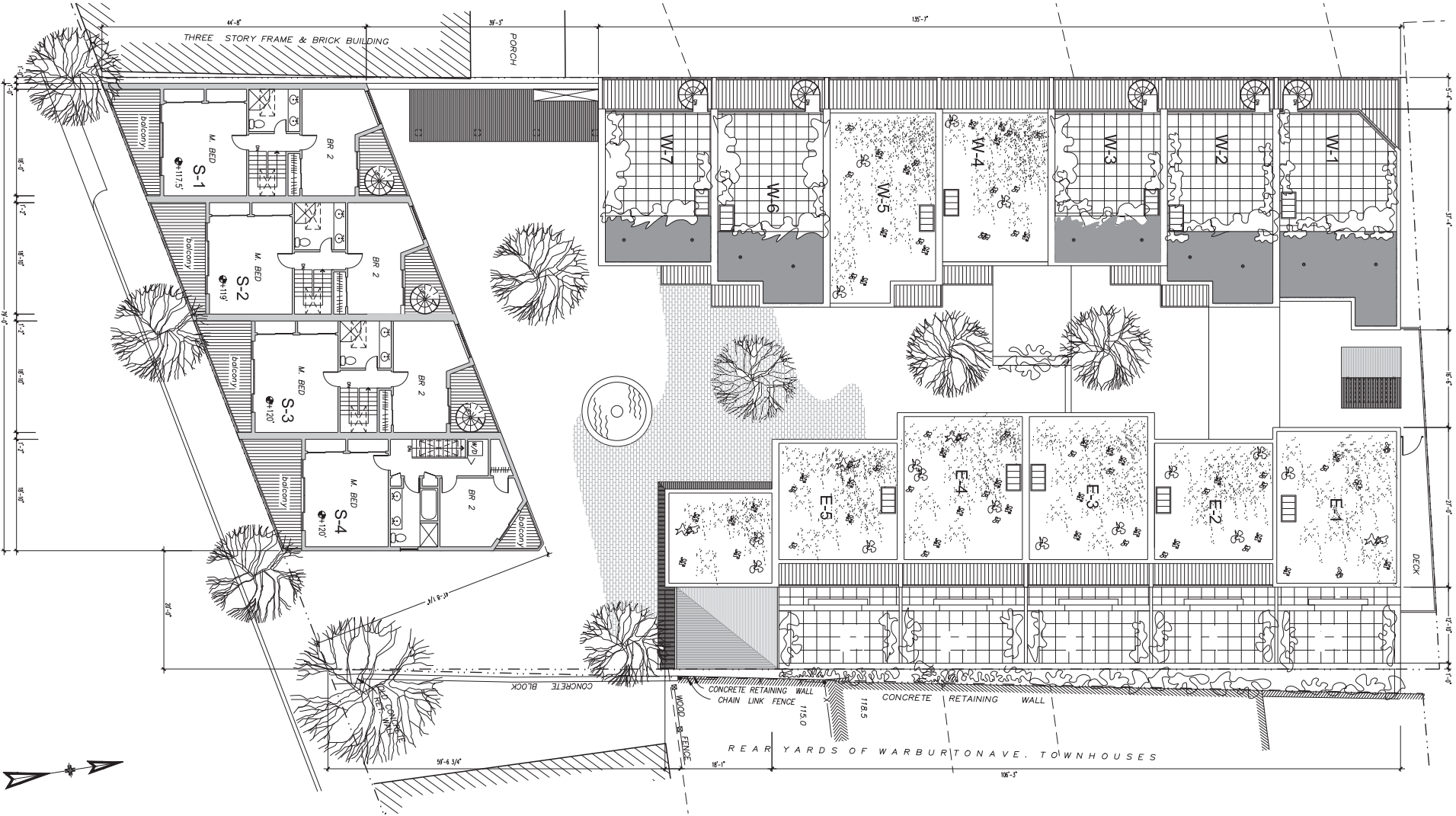


Baldwin & Franklin Architects  
 73 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 Tel.: (914) 693 5234 Fax: (914) 693 5676

Project: **WASHINGTON MEWS**  
**RTB WASHINGTON LLC**

Sheet Title: **Second Floor Plan**

Project No.: 1815	Sheet No.: 3
Date: 04/06/15	
Scale: 1/8" = 1'-0"	
Drawn: CA	

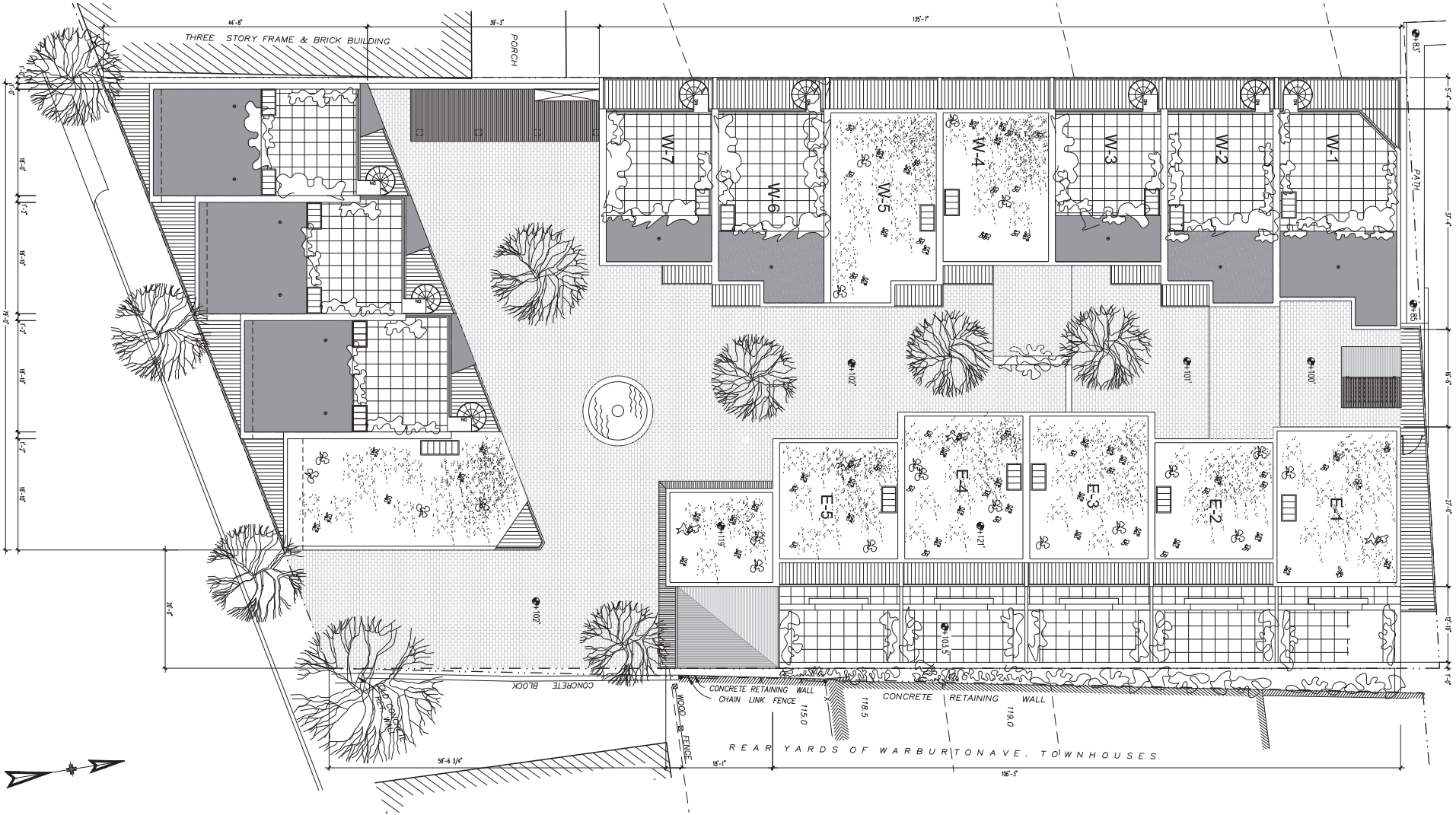


Baldwin & Franklin Architects  
 73 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 Tel.: (914) 693 5234 FAX: (914) 693 5676

Project:  
**WASHINGTON MEWS**  
**RTB WASHINGTON LLC**

Sheet Title:  
**Third Floor Plan**

Project No.: 1805	Sheet No.:
Date: 04/06/2015	<b>4</b>
Scale: 1/8" = 1'-0"	
Drawn: CA	



Baldwin & Franklin Architects  
 73 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 TEL: (914) 693 5224 FAX: (914) 693 5676

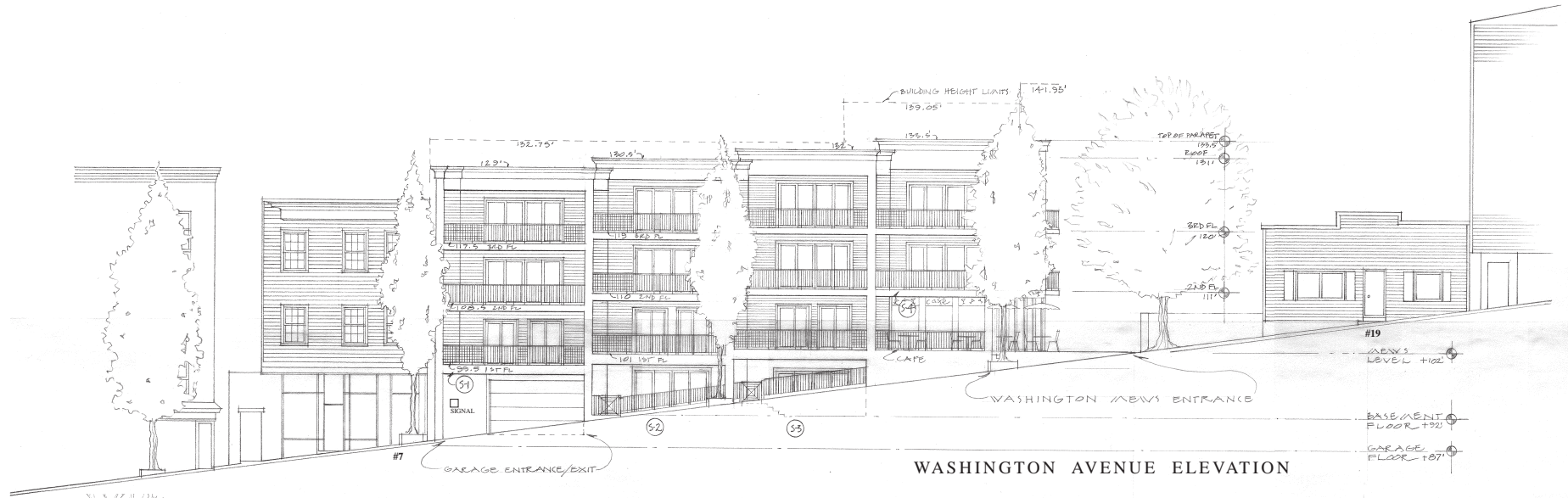
Project: **WASHINGTON MEWS  
 RTB WASHINGTON LLC**

Sheet Title: **Roof Plan**

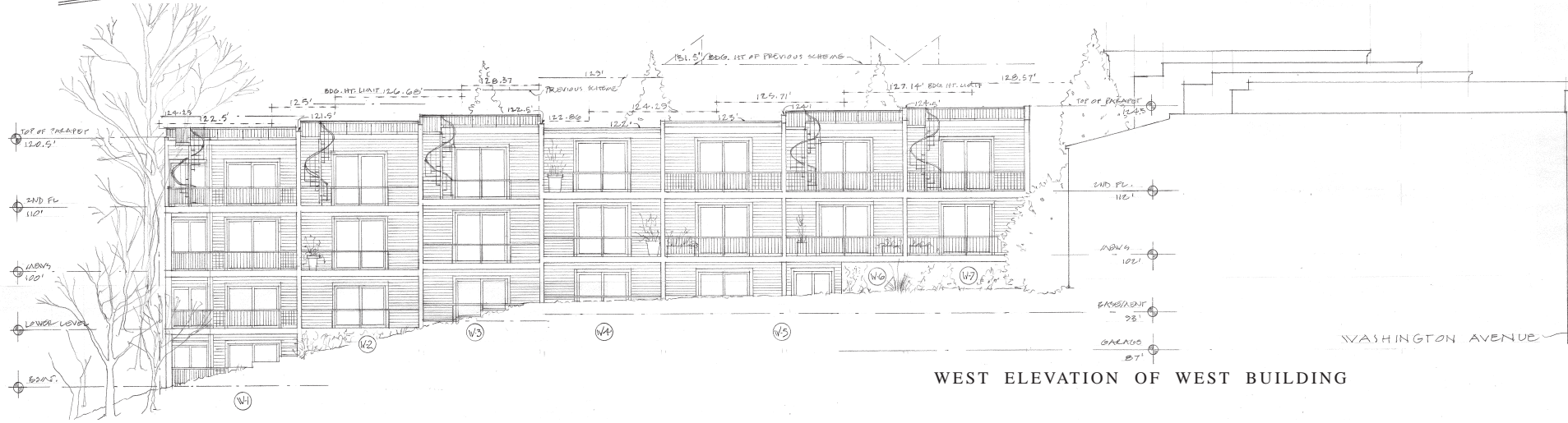
Project No.: 1105  
 Date: MAR 06, 2015  
 Scale: 1/8" = 1'-0"  
 Drawn: CA

Sheet No.: **5**





WASHINGTON AVENUE ELEVATION



WEST ELEVATION OF WEST BUILDING



NORTH ELEVATION FROM PARKING LOT



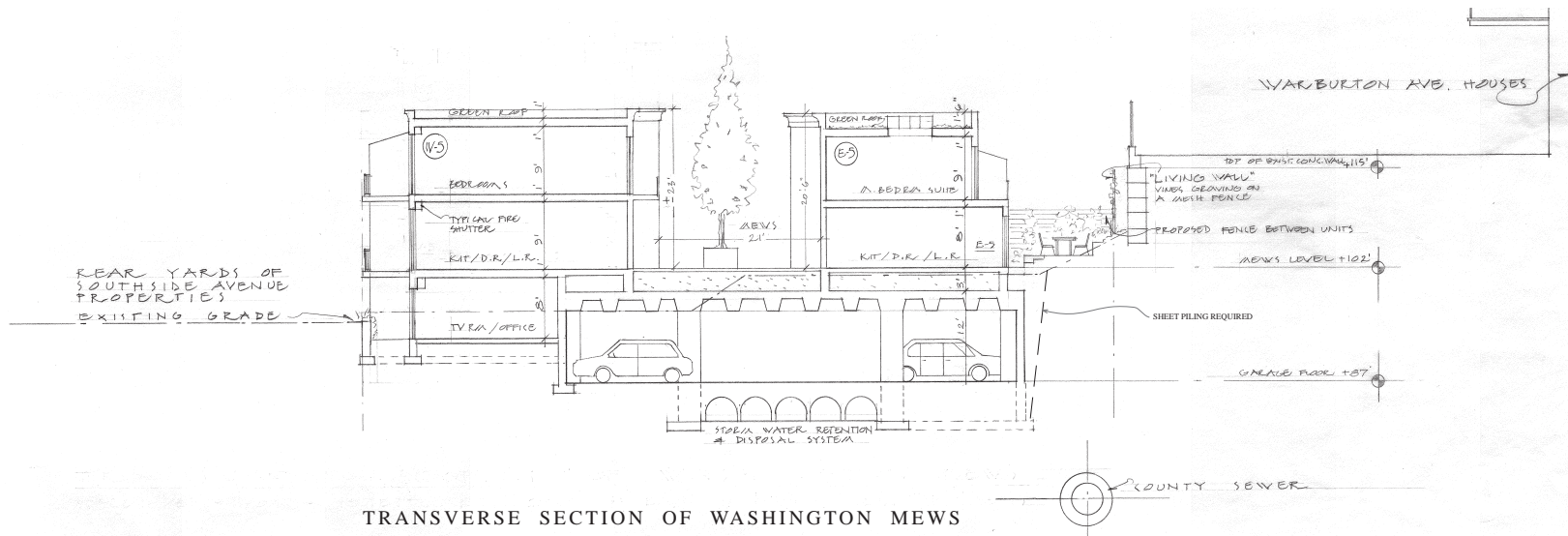
WEST ELEVATION OF EAST HOUSES SEEN FROM THE MEWS

SOUTH ELEVATION OF EAST HOUSES (INCLUDING ELEVATOR/GARBAGE/MAIL BUILDING)

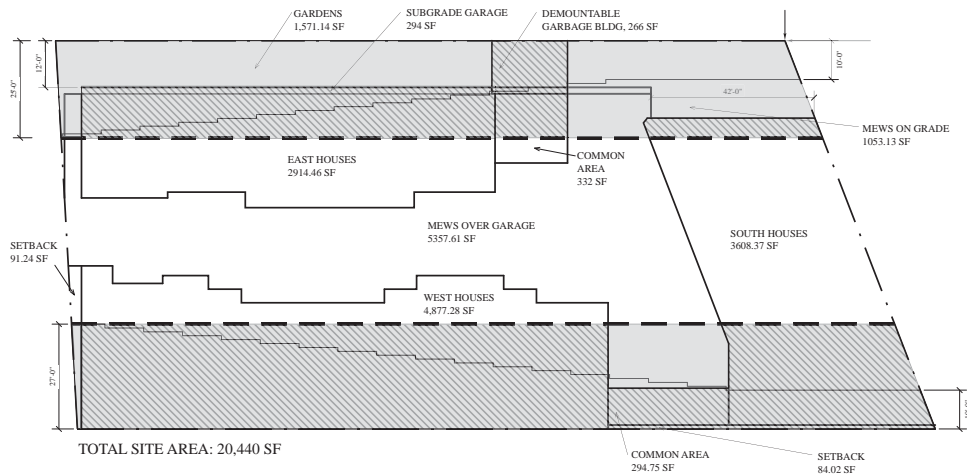




LONGITUDINAL SECTION/ELEVATION @ CENTER LINE OF MEWS LOOKING WEST



TRANSVERSE SECTION OF WASHINGTON MEWS



**COVERAGE AREAS & REQUIRED SETBACKS**  
(1/16" = 1'-0")

- GREY AREA SHOWS SETBACK REQUIREMENTS AS DETERMINED BY THE HASTINGS-on-HUDSON BLDG DEPT.
- GREY HATCHED AREA SHOWS ENCROACHMENT ENTIRE WEST SIDE ENCROACHES 5,289 SF. AT EAST SIDE THE GARBAGE AREA & COMMON AREA ENCROACH 478 SF & A PORTION OF EAST HOUSES ENCROACHES 1,202 SF. THE SUB GRADE GARAGE ALSO ENCROACHES 294 SF. S-4 ENCROACHES 225 SF. TOTAL ENCROACHMENT AREA IS 7488 SF OR 36.63% OF SITE AREA

**1 Planning Considerations for the Washington Mews Project**

**Rubbish & Recycling Removal**  
We have reviewed facilities provided at other multi-family developments in Hastings such as Hastings Landing. We have also met with Mike Gunther, director of public works for Hastings and reviewed the facilities proposed with him. Mike deemed the curb space available on pick up days as being entirely adequate and said in addition that should an excessive number of wheeled bins be needed he would move the project into a twice a week pick up regimen. The space we are providing both in storage and for curb side pick up is significantly larger than that at Hastings Landing.

**Snow Removal**  
We shall be rebuilding the sidewalk on Washington Avenue and shall incorporate a snow melt system for this entire area. While continuation of snow melt facilities into the Mews is possible, we do not wish to be committed to this at this time. We have examined the area of the Mews with a view toward snow storage and believe it would be adequate with 4 foot wide cleared section down the center with 2 1/2' wide branches to each entry. At the egress pathway & steps to the north snow will be cleared manually utilizing a snow blower stored at the parking garage level.

**Lighting of Public Areas**  
The Mews area will be illuminated by wall sconces at each entry door and uplights at each tree. The exit stairway at the north will be illuminated by LED steplights and the pathway by LED landscape lights, all served from, and maintained by, the project. Wall sconce fixtures shall emit 1250 lumens, landscape units 650, and step lights 500. Fixture spacings shall result in surface illumination levels near entrances at 20 foot candles, on walks and paths 5min to 10max foot candles. All fixtures will produce warm, 2700°K, light. Illuminance levels shall be category A.

**Impact of Traffic Generated by the Project**  
The project will involve the relocation of one existing curb cut into Washington Avenue and will not result in the loss of any on-street parking spaces. We have met with Chief Visalli whose assessment was that the project will have an extremely beneficial impact on current congestion on lower Washington Avenue simply due to the potential removal of 29 vehicles from the street. So long as a right turn in and a right turn out is observed at the garage entry he did not think that there would be any problem entering and leaving the Washington Avenue traffic stream. He did note however that a commercial operation such as the proposed café could create problems. He noted that at Antoinette's on Warburton Avenue many customers simply double park leaving their warning lights flashing. However he said that even though this is illegal and the police ticket as often as they can, it seems to work because the street is wide enough at that location. He said that on Washington this would not be the case and he felt that double parking would likely not occur. As a result the café trade may be largely be restricted to walk-in. In this location it is probably more likely anyway.

He also acknowledged that this project is likely to have far more commuters that walk to the station or seniors that do not take their car out at rush hour, so significant volumes of traffic in and out of the garage is not expected.

At his suggestion, it is our intention to request that three meters in front of the project to be limited to 15 minutes.

**Fire Fighting**  
Previous correspondence has been submitted on a review of the project by the HFD Fire Inspector and Chief.

**Deliveries**  
The issue of mail has not been discussed with the postmaster but we know that at Hastings Landing the mailboxes were consolidated near the entry to the project. We believe a suitable location for this would be under the projecting roof on the south wall of the elevator. Mailbox facilities would include receiving receptacles for courier deliveries.

**Window openings on West Elevation**  
This fully sprinkled building is classed as Type 5A construction under the New York State Building Code which stipulates that:  
All openings facing a lot line set back 5' to 10' may have unprotected openings up to 10% of the wall area and protected ones up to 25%. (Table 704.8) The openings we show are 25% at each house. We investigated protecting these openings with fire resistive glass but this would not permit operators. We have therefore elected to install coil type fire shutters similar to those made by Alpine Products at each of these openings. The coil is housed a box approximately 14" x 14" which can be concealed in the wall above the door header. In detail design we are confident that we can integrate these in an acceptable manner.

**2 County Trunk Sewer Easement**

The County Trunk Sewer runs North South centered approximately 3' west of the east lot line at a depth some 10' below our anticipated deepest foundations. The county easement extends only 4' west of this line. We have confirmed with Mr. Marion Pompa of the Westchester County Environmental Services Department & Mr. Lucas Herbert of the Westchester County Planning Department, that our project has no impact on the trunk sewer. Naturally the imposition of heavy loads within the easement area will be avoided. It is anticipated that a new connection to the sewer will be permitted to serve our project as it was for 495 Warburton Avenue.

**3 Storm Water Retention Analysis for Washington Mews Project**

**Total Site Area** = 20,440 SF Elevations on site range from +84' to +106'. Project design calls for Mews level at approximately +102' throughout the site. A basement garage is planned some 15' lower at +87'. An existing county sewer transmits the site near the east border of the site with an invert at approx. +70'. Soils are old fill heavily compacted. Percolation rate on the adjacent site to the east was 1" in 15 min as measured 7 years ago. We are approaching design using this same rate and planning for a 100 year storm event. In the event of a greater storm overflow water will run by gravity to the existing catch basin in Washington Ave at the SW corner of the site which has an invert of approximately +84'. We are designating an area of 10'x140' under the garage floor to accommodate the retention system.

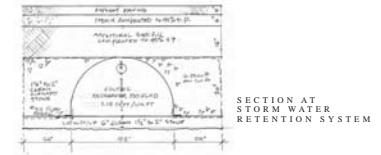
Run off characteristic numbers have been taken from the Westchester County Storm Water Control Manual.

Roofs -	CN 98	9376 SF x 7.75 ÷ 12 =	6055 CF
Vegetated Roofs -	CN 80	2914 SF x 5.42 ÷ 12 =	1316 CF
Mews Paving -	CN 85	6411 SF x 5.67 ÷ 12 =	3029 CF
Gardens -	CN 75	1739 SF x 4.81 ÷ 12 =	697 CF
Total		20,440 SF	11,097 CF

Pre Development Run off Analysis:  
Entire Site CN 75 20,440 SF x 4.81 ÷ 12 = 8,193 CF  
Net Required Storage Capacity = 2,904 CF

Utilizing Culex Recharger XLHD 330 units placed in a linear fashion beneath the asphalt paving in the garage and using the 15 min per inch percolation rate we calculate meeting this storage volume requirement as follows:  
Clear Interior volume of the recharger units = 7.15 cu ft per linear foot  
Void capacity in stone fill each side of recharger units = 7.44 cu ft per lin ft  
Percolation rate over 24 hours at 15 min per inch = 6.38 cu ft per lin ft  
Total capacity of system = 20.97 cu ft per lin ft. Therefore 2904 cu ft ÷ 20.97 = 138.48' length is required.

Storm water retention during construction will consist of silt fence and hay bale back up along both the west and north lot lines.



**4 Probable Service Connections:**

- 4" domestic water service from Washington Avenue existing main. Meters to be on west wall of garbage/recycling center and backflow preventer at SE corner of garage.
- 8" Sanitary sewer connection to county sewer at NE corner of site exactly as was arranged for 495 Warburton.
- Storm Sewer on site disposal system as described above & on garage plan.
- Underground electrical service will enter electrical room shown on garage plan.

TABLE OF RESIDENTIAL UNITS							
UNIT	LEVEL	NET F.A.	BR'S	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	ROOF GARDEN	OFF STREET PARKING SPACES REQUIRED
E-1	MEWS	507 S.F.	0	-	396 S.F.	NO	1.75
	LOWER	608 S.F.	1	100 S.F.	-		
	2nd FL.	507 S.F.	1	100 S.F.	-		
TOTAL		1622 S.F.	2	200 S.F.	396 S.F.		
E-2	MEWS	470 S.F.	0	-	257 S.F.	NO	1.5
	2nd FL.	390 S.F.	1	100 S.F.	80		
	TOTAL	860 S.F.	1	100 S.F.	337 S.F.		
E-3	MEWS	560 S.F.	0	-	257 S.F.	NO	1.75
	2nd FL.	480 S.F.	2	200 S.F.	80		
	TOTAL	1040 S.F.	2	200 S.F.	337 S.F.		
E-4	MEWS	560 S.F.	0	-	257 S.F.	NO	1.75
	2nd FL.	480 S.F.	2	200 S.F.	80		
	TOTAL	1040 S.F.	2	200 S.F.	337 S.F.		
E-5	MEWS	470 S.F.	0	-	257 S.F.	NO	1.5
	2nd FL.	390 S.F.	1	100 S.F.	80		
	TOTAL	860 S.F.	1	100 S.F.	337 S.F.		
W-1	MEWS	616 S.F.	0	-	124 S.F.	YES	2.0
	2nd FL.	616 S.F.	1	100 S.F.	124 S.F.		
	LOWER	655 S.F.	2	200 S.F.	124 S.F.		
	LOWEST	655 S.F.	1	100 S.F.	124 S.F.		
	TOTAL	2542 S.F.	4	400 S.F.	496 S.F.		
W-2	MEWS	540 S.F.	0	-	89 S.F.	YES	1.75
	2nd FL.	540 S.F.	2	200 S.F.	89 S.F.		
	LOWER	357 S.F.	0	-	89 S.F.		
TOTAL		1437 S.F.	2	200 S.F.	267 S.F.		
W-3	MEWS	449 S.F.	0	-	89 S.F.	YES	1.5
	2nd FL.	449 S.F.	1	100 S.F.	89 S.F.		
	LOWER	357 S.F.	0	-	89 S.F.		
TOTAL		1255 S.F.	1	100 S.F.	267 S.F.		
W-4	MEWS	449 S.F.	0	-	89 S.F.	YES	1.5
	2nd FL.	449 S.F.	1	100 S.F.	89 S.F.		
	LOWER	357 S.F.	0	-	89 S.F.		
TOTAL		1255 S.F.	1	100 S.F.	267 S.F.		
W-5	MEWS	540 S.F.	0	-	89 S.F.	NO	1.5
	2nd FL.	540 S.F.	2	200 S.F.	89 S.F.		
	LOWER	548 S.F.	0	-	89 S.F.		
TOTAL		1628 S.F.	2	200 S.F.	267 S.F.		
W-6	MEWS	540 S.F.	0	-	89 S.F.	YES	1.75
	2nd FL.	540 S.F.	2	200 S.F.	89 S.F.		
	TOTAL	1080 S.F.	2	200 S.F.	178 S.F. + ROOF		
W-7	MEWS	449 S.F.	0	-	89 S.F.	YES	1.5
	2nd FL.	449 S.F.	1	200 S.F.	89 S.F.		
	TOTAL	898 S.F.	1	200 S.F.	178 S.F. + ROOF		
S-1	MEWS	559 S.F.	0	-	99 S.F.	YES	1.75
	2nd FL.	559 S.F.	0	-	163 S.F.		
	3rd FL.	559 S.F.	2	200 S.F.	163 S.F.		
TOTAL		1797 S.F.	2	200 S.F.	425 S.F.		
S-2	MEWS	625 S.F.	2	200 S.F.	127 S.F.	YES	2.0
	LOWER	625 S.F.	0	-	127 S.F.		
	2nd FL.	625 S.F.	0	-	191 S.F.		
	3rd FL.	625 S.F.	2	200 S.F.	191 S.F.		
TOTAL		2500 S.F.	4	400 S.F.	636 S.F.		
S-3	MEWS	625 S.F.	2	200 S.F.	127 S.F.	YES	2.0
	LOWER	625 S.F.	0	-	127 S.F.		
	2nd FL.	625 S.F.	0	-	191 S.F.		
	3rd FL.	625 S.F.	2	200 S.F.	191 S.F.		
TOTAL		2500 S.F.	4	400 S.F.	636 S.F.		
S-4	MEWS	54 S.F.	0	-	-	NO	1.75
	2nd FL.	640 S.F.	0	-	164 S.F.		
	3rd FL.	640 S.F.	2	200 S.F.	164 S.F.		
TOTAL		1314 S.F.	2	200 S.F.	328 S.F.		
CAFE	MEWS	654 S.F.	0	-	127 S.F.	NO	0
	LOWER	758 S.F.	0	-	0 S.F.		
	TOTAL	1412 S.F.	0	-	127 S.F.		
<b>GRAND TOTALS</b>		<b>25,040 S.F.</b>		<b>3200 S.F.</b>	<b>6075 S.F.</b>		<b>27 1/4 SPACES</b>

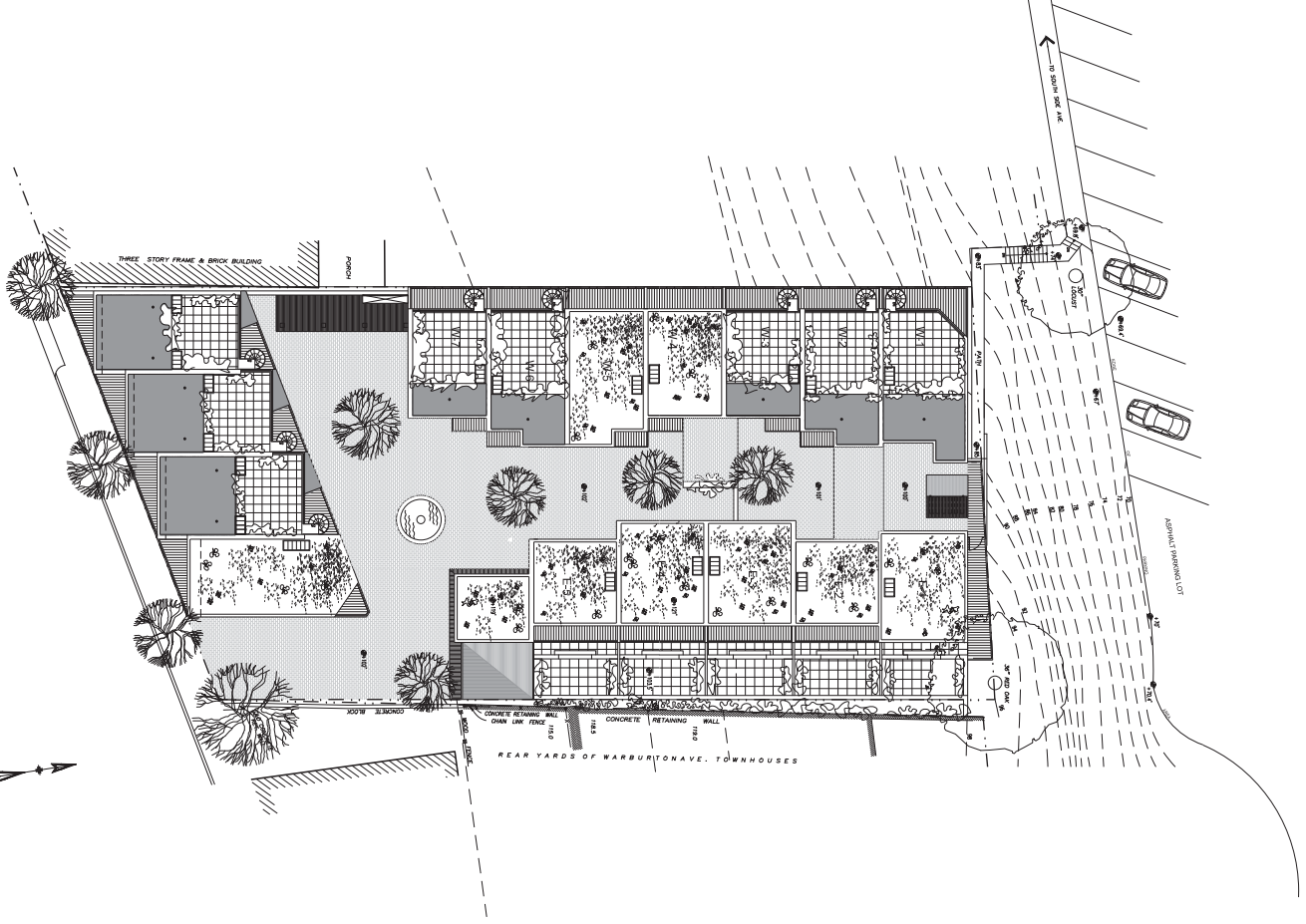
ZONING ANALYSIS MR-C DISTRICT LOTS 37 & 38, SECTION 4.70, BLOCK 48								
DISCUSSION POINTS		ITEM	REQUIRED	EXISTING	PROPOSED	REQUIRED VARIANCES		
<b>COVERAGE CALCULATIONS</b> (SEE DRAWING SHOWING COVERAGE ON SHEET 9)		LOT AREA	2500 SF	20,440 SF/ 0.4692 acres	20,440 SF			
Total project coverage exceeds the 80% permitted by 295-72.2 e (4) only because the Hastings Building Dept has deemed the portion of the Mews over the subgrade garage to constitute building coverage. The basis for this interpretation is that the garage constitutes a structure and that structures constitute coverage.		MINIMUM AREA PER DWELLING UNIT	500 SF	N.A.	1278 SF			
We have reviewed the definition of structure in 295-5 and very clearly it refers only to items placed above grade. The Mews is located at a grade very close to that now existing. We do not believe it should be considered as building coverage. If the Mews area was replaced by pervious pavement at 50% total development coverage would be 13.1% less or 78.5%. Despite this interpretation the excess coverage is only 0.4% or 11.6% if the portion of the mews on natural grade is also included.		BUILDING COVERAGE ABOVE GRADE	N.A.	5296 SF or 25.9%	12,293 SF or 60.1%			
<b>OPEN SPACE</b>		TOTAL COVERAGE BY ALL STRUCTURES	80% MAX 16,352 SF	5596 SF or 27.3%	17,944 SF or 87.8%	Relief from 295-72.2 E 4 87.8% in lieu of 80%		
Required open space 295-72.2 a (2) Except for five east units which have 13'-9" deep gardens at grade, all units will have open space created within the footprint of the unit by a combination of balconies and roof terraces. The Hastings Building Department has deemed that the mews is not a 'court' as defined in 295-5 and therefore that 295-21 C does not apply to this project.		TOTAL PERVIOUS PAVING COVERAGE		952 SF or 4.6%	1053.11 SF or 5.2%			
<b>OFF STREET PARKING REQUIREMENTS</b>		TOTAL DEVELOPMENT COVERAGE	NOT STIPULATED	APPROX. 57.89%	91.6%	MAXIMUM IS NOT STIPULATED. 295-72-2 E 4 DOES NOT MENTION PERVIOUS PAVEMENT		
The new curb cut will be 22' in width less than the 24' allowed. The existing 12' curb cut will be removed. The entry will be restricted to right turn in & right turn out. The ramp connecting the sidewalk within the garage will permit 2 way traffic. However by means of signal lights we will avoid this. One vehicle may wait off the street not obstructing traffic while the entry door is in operation. Cars exiting the garage will be aware of such a vehicle and be able to wait until the ramp is clear. Ramp grade is well within the 5% maximum stipulated in 295-31.		OPEN SPACE BY UNIT Per 295-72.2.A(2), requirement is: - 100 SF for each studio or 1 bedroom unit + 100 SF added for each additional bedroom. Resultant required areas are shown in the next columns. Provided space exceeds requirements in all cases.	E-1 200 SF E-2 100 SF E-3 200 SF E-4 200 SF E-5 100 SF W-1 400 SF W-2 200 SF W-3 100 SF W-4 100 SF	W-5 200 SF W-6 200 SF W-7 200 SF S-1 200 SF S-2 400 SF S-3 400 SF S-4 200 SF CAFE none	N.A.	E-1 396 SF E-2 337 SF E-3 337 SF E-4 337 SF E-5 337 SF W-1 496 SF W-2 267 SF W-3 267 SF W-4 267 SF	W-5 267 SF W-6 458 SF W-7 430 SF S-1 425 SF S-2 636 SF S-3 636 SF S-4 328 SF CAFE 100 SF	NONE
The new curb cut will be 22' in width less than the 24' allowed. The existing 12' curb cut will be removed. The entry will be restricted to right turn in & right turn out. The ramp connecting the sidewalk within the garage will permit 2 way traffic. However by means of signal lights we will avoid this. One vehicle may wait off the street not obstructing traffic while the entry door is in operation. Cars exiting the garage will be aware of such a vehicle and be able to wait until the ramp is clear. Ramp grade is well within the 5% maximum stipulated in 295-31.		Per 295-36 A, required parking per unit is: - 1 1/4 spaces for studio - 1 1/2 spaces for 1 bedroom - 1.34 spaces for 2 bedrooms - 2 spaces for 3 bedrooms Per 295-36 E, CAFE is exempt TOTAL REQUIRED: 29	E-1 1 3/4 E-2 1 1/2 E-3 1 3/4 E-4 1 3/4 E-5 1 1/2 W-1 2 W-2 1 3/4 W-3 1 1/2 W-4 1 1/2	W-5 1 1/2 W-6 1 3/4 W-7 1 1/2 S-1 1 3/4 S-2 2 S-3 2 S-4 1 3/4 CAFE 0	N.A.	E-1 1 3/4 E-2 1 1/2 E-3 1 3/4 E-4 1 3/4 E-5 1 1/2 W-1 1 3/4 W-2 1 3/4 W-3 1 3/4 W-4 1 3/4	W-5 2 W-6 2 W-7 1 3/4 S-1 2 S-2 2 S-3 2 S-4 1 3/4 CAFE 0	RELIEF FROM 295-36A TO ALLOW THE PROVISION OF 25 SPACES IN LIEU OF 27 1/4
<b>YARD REQUIREMENTS</b>		FRONT: 0' REAR: 0' SIDES: 10' (INCREASING 1' FOR EVERY 10' OF DEPTH AFTER 50'. SEE DWG ON SHEET 9) TOTAL WEST SIDE IS 27' TOTAL EAST SIDE IS 25'	0' @ FRONT 0' @ WEST 10' @ EAST +/- 150' @ NORTH	FRONT: 0' REAR: 1' EAST: 15'-9" WEST: 0'	RELIEF FROM 295-72E (1) RELIEF FROM 295-20G ENCROACHMENTS TOTAL IS 7,194 SF SEE DWG 9			
<b>HEIGHT LIMITS</b> (SEE SHEETS 12, 13 & 14) 295-5 "HEIGHT, BUILDING" B (1) & B (2) + 295-72.2 (E) 3 (a) & (b) limiting height to 40'.		All buildings are in compliance with 295-72.2 (E)						
<b>EXIT WAY/CONNECTION TO TRAIN STATION</b>		EXIT TO TRAIN STATION				A recommendation from the PB & ZBA to the B of T that such an easement be granted.		
We propose a gravel pathway approximately 4' wide to connect the exit stair on the north end of the development to existing old stairs in need of reconstruction at the SW corner of the station parking lot. (see sheet 1) These stairs give out to the sidewalk leading to Southside Avenue and the station. We are asking the village to enter into a reciprocal easement agreement with RTB Washington LLC or their designated condominium corporation, to allow RTB to construct and maintain this pathway and steps in perpetuity as a public pedestrian way. In turn the village would receive a public right of passage through the Mews at the Mews level to Washington Avenue. We contacted Erika Krieger of the New York DOS regarding obtaining a state code variance to permit an exit into a 4' wide path in lieu of the 10' wide laneway prescribed by the code. Erica thought this likely.								

Sheet No.: 10  
 Project No.: 1486  
 Date: 6 AUGUST 2015  
 Scale:  
 Drawn:  
 Checked:  
 Project Title: **WASHINGTON MEWS  
RTB WASHINGTON LLC**  
 Project: **Baldwin & Franklin Architects  
73 Washington Avenue  
Hastings-on-Hudson, N. Y. 10706  
Tel.: (914) 693-5524 Fax: (914) 693-5676**

# LANDSCAPE DESIGN PROPOSAL

The plantings proposed for the public domain of the project will be as follows:

1. 3 new street trees equal to those now existing in east front grading flush with sidewalk.
2. 5 new trees in concrete planters within the Mews as shown on the plans.
- These we propose be Honey Locusts (*Gleditsia Tricantios*) 2 1/2" caliper as their small leaves and high visual transparency will not overly shade the Mews space nor dominate or fill it excessively. At each of these planters we would propose English Ivy (*Hedera helix*) as a ground cover which hopefully would flow over the edges of the planters.
3. At numerous window boxes we would propose annual flowering plants.
4. For the vegetated roofs on the East Houses, W-4 and S-4 we would propose a modular system employing a variety of Sedums mixed with short meadow grasses be used.
- A system such as Terrazo's VR M10D would be appropriate as it is as close to being maintenance free as any system on the market.
5. For the east houses we propose a self supporting green wall at the rear of each garden extending to the height of the concrete wall.
6. Paving throughout the Mews we propose be a clay brick in a running bond adding color and a non institutional, non commercial feeling which conventional concrete modular units can never achieve.
7. Roof terraces on S and W houses have 1'-6" high planter boxes which are substantially concealed by the parapets. Plant material will be provided by individual owners and will be restricted by the condominium agreement to be maintained no more than 2'-6" high, i.e. 1'-6" higher than the parapet.
8. At the center of the south end of the mews we propose a fountain to provide a sitting wall and water to reflect light and provide sound to add atmosphere. The fountain will be illuminated at night.

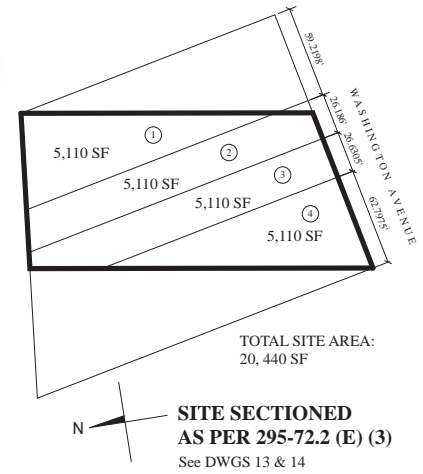
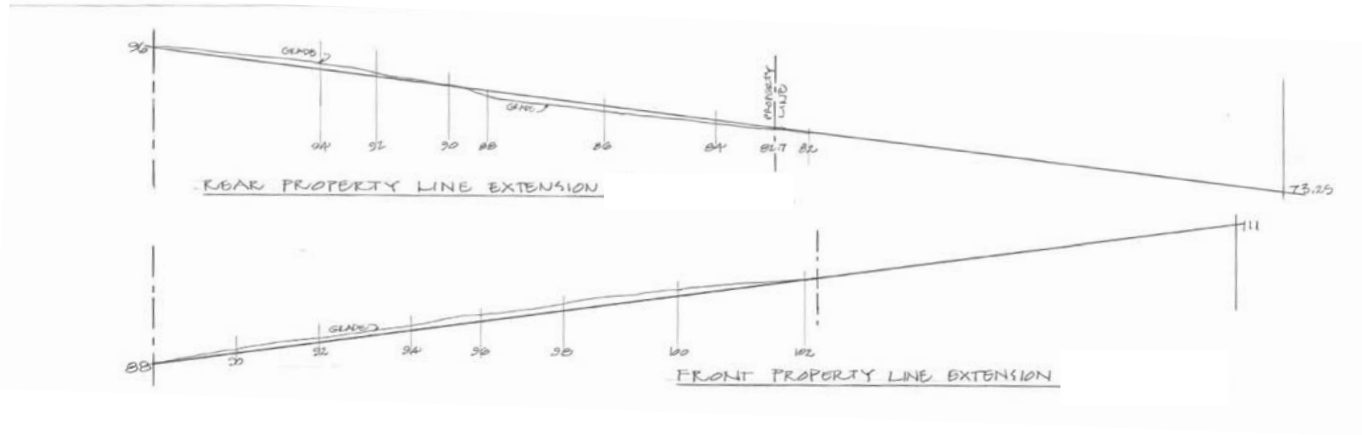


Baldwin & Franklin Architects  
 73 Washington Avenue  
 Hastings-on-Hudson, N.Y. 10706  
 Tel.: (914) 693 5324 Fax: (914) 693 5676

Project:  
**WASHINGTON MEWS**  
**RTB WASHINGTON LLC**

Sheet Title:  
**Landscape Design**  
 Proposal

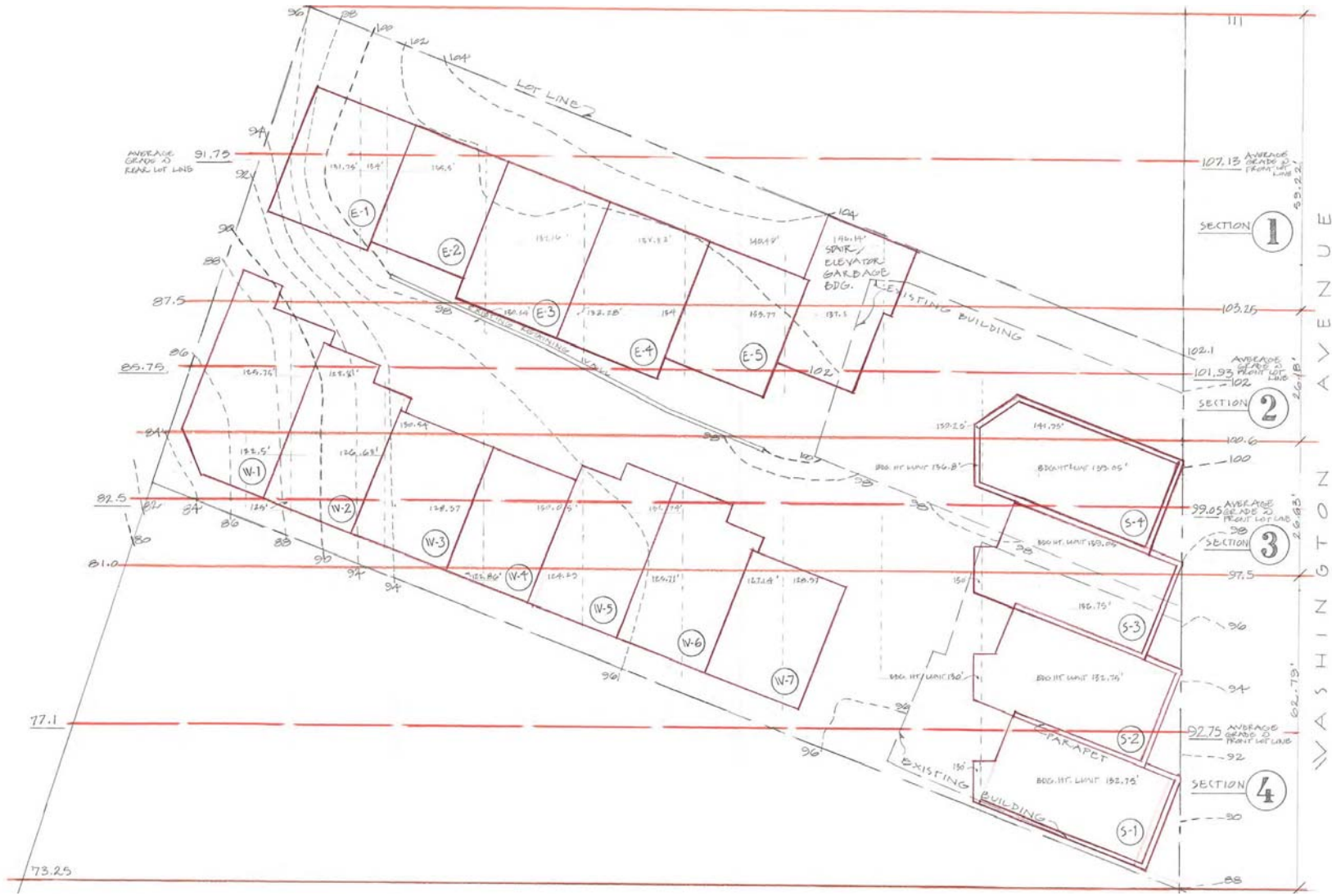
Project No.: 105  
 Date: 04/08/2015  
 Sheet: 1" = 150'  
 Drawn: CA



LOWEST HEIGHT LIMIT PER UNIT  
(OF THE POSSIBLE RANGE OF HEIGHTS)

UNIT	ALLOWED	PROPOSED	# OF FEET UNDER LIMIT
S-1	+ 132.75' & 130' @ rear 2'	+ 129'	+ 3.75'
S-2	+ 132.75' & 130' @ rear 2'	+ 130.5'	+ 2.25'
S-3	+ 132.75' & 130' @ rear 2'	+ 132' & 130'	+ 0.75' & 0'
S-4	+ 139.05' & 136.8' @ rear 2'	+ 133.5'	+ 5.55'
W-1	+ 123.5'	+ 120.5'	+ 3'
W-2	+ 125.0'	+ 121.5'	+ 3.5'
W-3	+ 126.68'	+ 122.5'	+ 4.18'
W-4	+ 122.86'	+ 122'	+ 0.86'
W-5	+ 124.29'	+ 123'	+ 1.29'
W-6	+ 125.71'	+ 124'	+ 1.71'
W-7	+ 127.14'	+ 124.5'	+ 2.64'
E-1	+ 131.75'	+ 122.5'	+ 9.25'
E-2	+ 134.0'	+ 122.5'	+ 11.5'
E-3	+ 130.54'	+ 122.5'	+ 8.04'
E-4	+ 132.28'	+ 122.5'	+ 9.78'
E-5	+ 134.0'	+ 122.5'	+ 11.5'
GARR/ MAIL BLDG.	+ 135.77'	+ 120'	+ 15.77'









view 4 - existing



view 4 - proposed



view 7 - existing



view 5 - existing



view 5 - proposed



view 7 - proposed



view 6 - existing



view 6 - proposed





VIEWPOINT MAP scale: 1"=100'



site before trees removal (looking west from deck level of Warburton houses)



winter view



view 1 - existing



view 1 - proposed



view 2 - existing



view 2 - proposed



view 3 - existing



view 3 - proposed